

17. Installation:

- A. Fit rough carpentry to other construction; scribe and cope for accurate fit. Correlate location of furring, blocking, and similar supports to allow attachment of other construction. Coordinate with Mechanical and Electrical Plans to avoid conflict between framing and fixture, outlet, switch, etc. locations.
- B. Securely attach rough carpentry work to substrate by anchoring and fastening per industry standard.
- C. Provide jack studs below all headers and beams. Carry concentrated loads of all jack studs down to suitable bearing. Double frame openings. Double joists under all parallel partitions.
- D. Provide headers above all openings as designated on Framing Drawings. (3) 2x10 w/ 1/2" plywd. filler, insulated, U.O.N.

18. Finish Carpentry:

- Exterior trim
- A. Use one continuous piece where possible. Minimum length of 12'-0", otherwise, divide length into minimum number of equal standard lengths. Example: 16'-0" of trim would be two 8'-0" pieces. Provide samples of all trim, moulding, etc. for review prior to installation.
1. Siding:
Rebutted, Resquared, 3/8" Select or Premium grade, clear, Eastern White Cedar, square edge, natural – kiln dried, 5" exposure, 5 1/2" average width by Malbec (Nontucket) or similar. Review with owner prior to purchase to determine stain type and color.
- Details note "cedar breather" or PT 1x strapping to create an air space.

B. Corner Boards, Trim, Eave, Fascia, and/or Rake Assembly: Azek

1. 5/4 x 6, 1 x 4, 1 x 6, 1 x 8, 1 x 10, or as detailed.
2. Air space should be provided behind trim, similar to siding.

C. Composite Decking: To be selected by Owner. Provide allowance in bid.

D. Exterior Window and Door Casing, Window Sill: 5/4 x 4 Azek.

- E. Shelving and Closet Poles:
1. 3/4" Birch veneer plywood with 1 x 2 pine edge band.
2. Closet Pole: 1-1/4" Diameter steel tubing, polished chrome finish with polished chrome flanges, as manufactured by Outwater Hardware Corp., Totowa, NJ.

19. Installation:

- A. Condition woodwork to prevailing conditions before installation.
- B. Install woodwork to comply with AWI Section 1700 for grade specified.
- C. Install woodwork level, plumb, true, and straight. Shim as required with concealed shims. Install to a tolerance of 1/8 inch in 96 inches (3 mm in 2400 mm) for level and plumb.
- D. Scribe and cut woodwork to fit adjoining work, seal cut surfaces, and repair damaged finish at cuts.
- E. Install trim with minimum number of joints possible, using full-length pieces to the greatest extent possible. Stagger joints in adjacent and related members.
- F. No splicing. Butt or mitered joinery to match existing.
- G. Backout or groove backs of flat trim members, kerf backs of other wide, flat members, except for members with ends exposed in finished work.

DIVISION 7: THERMAL AND MOISTURE PROTECTION

1. Aluminum roll and step flashing, minimum exposure. Factory finish, color to be selected by Owner and Architect.
- a. Flexible membrane flashings: At doors, windows, air barrier transitions, exterior wall penetrations. Provide Dupont Flex-Wrap, or Perm-A-Barrier or equal. Install compatible material with adjacent materials including air barrier/ moisture barrier and insulation system and sheathing and other flashings.
2. A. Dow, 3M, Owens Corning or equal.
- Walls: 5"thick 2 part closed cell spray foam or 5 1/2" blown in cellulose
- Sloped ceilings: 10" thick blown-in cellulose. Alternate: 2 part closed cell sprayfoam.
- Flat ceilings: 20" blown in cellulose.
- Interior Walls: 3 1/2" unfaced sound batt insulation or Roxul.
- Floor framing – band joists: 3" thick minimum, 2 part closed cell spray foam.
- Concrete slab/foundation walls: 2" rigid insulation, taped joints.
- Foundation walls: 2" rigid insulation drainage board on 3 sides of foundation.
- B. Vapor Barrier:
- "Intello" smart vapor barrier by Pro-Clima or "Membrain" by Certainteed. Review requirements with final insulation strategy. If closed cell spray foam insulation used, then no vapor barrier required.
- C. Sill Sealer: 1 x 6 fiberglass.
3. Ductwork: No ductwork.
Hot and cold water piping: 2" pipe insulation.
4. Roofing:
- A. Sloped Roofs:
Standing seam metal roof by Englert Roofing Company or approved equal. Provide all components for a complete installation. Provide profile (18" width) and gauge of metal roofing for review by Architect/Owner. Final color, width, gauge selection by Owner.

5. Sealant: Dow 790 to match.
- Seal all penetrations between occupied/conditioned spaces and unconditioned spaces (such as attics, crawlspaces, etc.). Architect/Contractor to inspect all penetrations/ air sealing prior to installation of insulation. Penetrations include, but not limited to: wiring, conduits, ductwork,plumbing, venting, structure, etc.

6. Vents and Louvers:

- A. Ridge Vents/misc. vents: Filter vent, as manufactured by Air Vent, Inc. Install per manufacturers recommendations. Durovent at rafter bays. Provide Cor-a-vent S-400 venting at exterior walls. See detail.
- B. Drip Flashing: Aluminum, factory finish, color to be selected.

DIVISION 8: OPENINGS

1. Exterior Doors: See schedule
- A. Insulated, 1 3/4", solid wood frame and wood panel with glazing. Owner to select.
- B. Thresholds: Factory standard or as noted.
- C. Hardware to be selected by Owner, installed by Contractor.
- D. Andersen Frenchwood hinged exterior door. 400 Series.

2. Interior Doors:
- A. 4 Panel, flat panel, solid wood by Jeld-Wen. See door schedule.

3. Windows:
- A. Picture, doublehung, casement as manufactured by Andersen 400 Series. See window schedule for details. Units to be minimum PG50. Provide shop drawings for review prior to ordering.

4. Finish Door Hardware: Provide an allowance of \$50/door. Labor to install in base bid. Owner to select. Finish: to be selected

A. Locksets: To be keyed alike.

B. Pocket Door Hardware: V2820 as manufactured by Stanley Hardware, New Britain, CT.

C. Door Stops: Base, door and hinge door stops as manufactured by Ives, New Haven, CT. Finish: to be determined.

DIVISION 9: FINISHES

1. Walls and/or Ceilings: Owner to determine all finishes. Provide all necessary accessories for complete installation. Prepare surface for specified finish.
- A. 1/2" Gypsum wallboard, 5/8" F.C. gyp. bd., 1/2" Moisture Resistent Gypsum wallboard and 1/2" cement board by Gold Bond or equal. Three coats taping compound. Level 4 finish unless otherwise noted.
- B. Wood finished walls, ceilings: 1x6 v-groove pine or Clear eastern white pine. Review with Owner for locations.
2. Execution:
- A. All work to be done by skilled mechanics.
- B. Work to be flush, smooth, free from pits, scars, etc.
- C. The Contractor shall inspect all areas affected by his work to ascertain all work is complete which will be concealed by gypsum board.
- D. Start up of work means acceptance of conditions.
3. Flooring: See Finish Schedule for finish floor. Provide an allowance based on the following values. Values are for labor to install and materials. Indicate installation cost and total square footages in Bid: GC to provide samples for review.
- A. Luxury vinyl plank flooring (LVP): \$9/sf materials. Labor in bid. COREtec: style, color, size to be selected by Owner.

4. Painting/ Staining:
- A. Submit color samples for review. Painted or Stained.

B. Obtain block fillers, primers and undercoat materials for wall coating system from the same manufacturer as the finish coats.

C. Paint and/or stain all exposed surfaces unless otherwise indicated. Touch up, refinish like new all areas affected by construction.

D. Do not paint prefinished items, finished metal surfaces, operating parts, labels and materials obviously intended to be left exposed such as stone and tile. Do not paint concealed surfaces.

E. Deliver to Owner a one gallon (3.8 L) container, properly labeled and sealed, of each color and type of finish coat paint/stain used on Project.

F. All products as manufactured by Benjamin Moore, unless otherwise noted. Colors to be selected by Owner and Architect.

G. Comply with paint manufacturers written instructions for surface preparation, environmental and substrate conditions, product mixing and application.

H. All painting and staining to be brush applied for all interior and exterior doors, windows, trim, columns, siding and flooring. Interior ceilings and walls to receive roller application. No spraying. Finish all sides of trim and siding: interior and exterior, prior to installation.

5. Exterior Paint / Stain Schedule:

- A. Wood posts/ beams: Review if finish required with exposed wood.
- B. Trim, Casing: Azek products.
- C. Cedar Shingles: 1 coat primer, 2 coats exterior latex.
1. 2 coats stain, Pre-dip, coat all edges.
- D. Decking: Composite – no finish required.

6. Interior Paint Schedule:

- A. Wood ceilings:
1. 1 coat stain white washed finish.
- B. Gypsum Board Ceilings:
1. 1 coat primer, 2 coats flat latex.
2. 1 coat shellac in damp locations, 2 coats flat latex.
- C. Gypsum Board Walls:
1. 1 coat primer, 2 coats flat latex.

D. Trim, Base, Paneling, Mouldings, Interior columns, railings:

1. Paint: 1 coat primer, 2 coats semi-gloss latex.
2. Stain: wood filler prep, 2 coats satin finish.

E. Shelving:

1. 1 coat primer, 2 coats semi-gloss latex.

F. Wood finished walls: Review with Owner locations.
1. 1 coat stain white washed finish.

7. Location of Varying Finishes – Exterior:

- A. Exterior Semi-gloss Acrylic Latex: Moorglo Latex House and Trim Paint.
- B. Exterior Primer: Moore's Latex Exterior Primer.
- C. Exterior Solid Body Stain: Moorwood Solid Latex
- D. Exterior Semi-transparent Stain: Moorwood Semi-transparent Stain.

8. Location of Varying Finishes – Interior

A. Wood Floor Stain: Minwax, color to be selected by Owner.

B. Semi-transparent Stain: Moorwood Semi-transparent Stain and Wood Preservative.

C. Filler: Benwood Paste Wood Filler.

D. Flat Latex: Regal Wall Satin.

E. Shellac: B-I-N Primer Sealer Stain Killer as manufactured by William Zinsser and Co., Inc., Somerset, NJ.

F. Low luster Vinyl Acrylic Latex: Wall Grip Latex Sealer II.

G. Semi-gloss Latex: Regal Aquaglo.
H. Polyurethane: Benwood Polyurethane Finish, Satin Finish.

DIVISION 10: SPECIALTIES

1. Kitchen cabinets and countertops: Provide an allowance of \$15,000 for materials only. Labor to install in bid. Owner to work with kitchen consultant to determine final style, drawers, shelving, hardware, counter top material, finishes, etc. GC to coordinate plumbing and electrical requirements. GC to coordinate installation. Consultant to provide final shop drawings for review prior to fabrication & installation.

2. Pantry built-in, mudroom built-in, bath vanity, bath countertop and linen cabinet part of millwork scope of work. GC to coordinate with consultant.

DIVISION 11: EQUIPMENT

1. New appliances to be selected by Owner. Contractor to install and connect. List to include: cook top & hood, dishwasher, refrigerator, microwave, washer and dryer.

DIVISION 12: FURNISHINGS

1. Window Treatments by Owner.

DIVISION 22 & 23: PLUMBING & HVAC

1. Install all plumbing work in accordance with all local and state codes.

A. Wastes and Vents:

1. Waste: PVC
2. Vents: Schedule 40, black, cut to roof slope.

B. Hot and cold water piping: Pex tubing.

C. Contractor is responsible for all rough-in, venting and final hook-up of all Kitchen appliances and fixtures. Contractor to coordinate.

2. Plumbing Fixtures: Provide allowances for the following, labor to install in base Bid.

A. Bath:

1. Water Closet: \$350.
2. Sink: \$250.
3. Sink Faucet: \$200.
4. Tub/Shower prefabricated unit: \$2,500

3. Provide new radon system piping. Review vertical pipe and future exhaust fan location with architect and owner.

4. HVAC:

A. Proposed heating system and air conditioning system to be mini-split units.

Mechanical contractor is responsible for sizing and design of system, components, layout, controls, and proper operation of systems.

Outline proposed system(s) in bid. Review with Owner to discuss final approach to heating, cooling and ventilation prior to construction.

HVAC Sub-contractor to provide design, product data and drawings to Architect and Owner four weeks prior to commencement of work for review. Systems to be safe, quiet and economical in operation and complete in all respects.

ERV Unit: Lifebreath 200 ERVD. Connect bathroom exhaust and general house exhaust to the ERV unit. The unit shall be connected to operate on any bathroom light switch. Activation on a 24 hour time clock operation schedule for day/night operation. Provide low limit freeze protection to shut off unit in extreme weather. Coordinate location with archtietc/ owner.

Due to improvements with insulation and house "air tightness", it is required to provide automatic (on a timer) system of exhaust and whole house ventilation.

Contractor may elect to combine bathroom exhaust/ERV as one unit. Panasonic, Fantech, or approved equal.

B. Heating system shall maintain a minimum uniform temperature of 70° F in all spaces when the outside temperature is -10° F. Cooling temperature is 70 degrees when outside temperature is 90 degrees.

Heating/cooling Zones: Assumed first floor and basement zones. Modify as required by final system design and/or as requested by Owner.

5. Coordinate all work with other trades. Provide all supplementary supports, hangers, etc. for all equipment. Provide manufacturers full warranty on all equipment.

6. All system equipment to be tested to assure proper balancing and operation.

DIVISION 26: ELECTRICAL

1. Install all work in accordance with all local, state and national codes and standards.

2. Contractor to review with Owner current electrical house loads, and provide sub-panels as may be required. Minimum 200 amps.

3. Location of switches, outlet boxes, fixtures and equipment is shown diagrammatically on drawing provided by Architect. Verify locations in field with Architect before roughing. Provide six (6) days notice prior to roughing. Outlets shown, etc., are specific locations. Otherwise, in all cases, locations shall be per National Electric Code. Review locations of all existing outlets, switches and fixtures with Architect and Owner prior to abandoning.

4. Fixtures: To be supplied and installed by Contractor unless otherwise noted. Fixture allowances are for materials. Labor to wire and install in Bid. LED Lamps supplied and installed by Contractor.

5. Outlets and Switches: Switches shall be rocker type switches and rated for 15 amps. Color to be selected. Decora Designer Line by Leviton or similar. Upgrade all existing switches to match new rocker type switches. Upgrade all existing duplex receptacles to match new.

6. All wiring in finished spaces shall be concealed. Provide cable run with regular wiring.

7. Entire system to be grounded as per Code.

8. Electrical Contractor is responsible for wiring all equipment, including HVAC.

9. Coordinate locations of studs, rafters, ceiling joists, other systems, etc., in order to facilitate the desired locations of switches, receptacles, fixtures, etc.

10. General Contractor and Electrical Contractor to coordinate work with Security System Consultant, telephone, and cable company. Coordinate with Owner.

11. Contractor to provide alternate price for underground service to house.

12. New generator: Provide new propane fired generator. Review size and location with Owner.

FISH STREET DESIGN ARCHITECTURE

A MAINE LICENSED ARCHITECT

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PROGRESS

SCHEMATIC DESIGN

DESIGN DEVELOPMENT

CONSTRUCTION DOCUMENTS

BID

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REVISIONS

PROJECT TITLE / ADDRESS

CLIENT RESIDENCE

PROJ. NO.:

SCALE: 1/4"=1'-0"

DESN. BY: DBH

DRAWN BY:

CHKD BY: -

ISSUE DATE: 10.2.20

SHEET TITLE

OUTLINE SPECIFICATIONS

A.1A

DIRECTORY:

FILE NAME:

A TYPICAL CONSTRUCTION DOCUMENT SET WOULD INCLUDE EVERY DRAWING THAT IS IN THE SAMPLE DESIGN DEVELOPMENT DRAWING SET PLUS THE DRAWINGS YOU SEE HERE WHICH MAKE UP THE CONSTRUCTION DOCUMENT SAMPLE SET.



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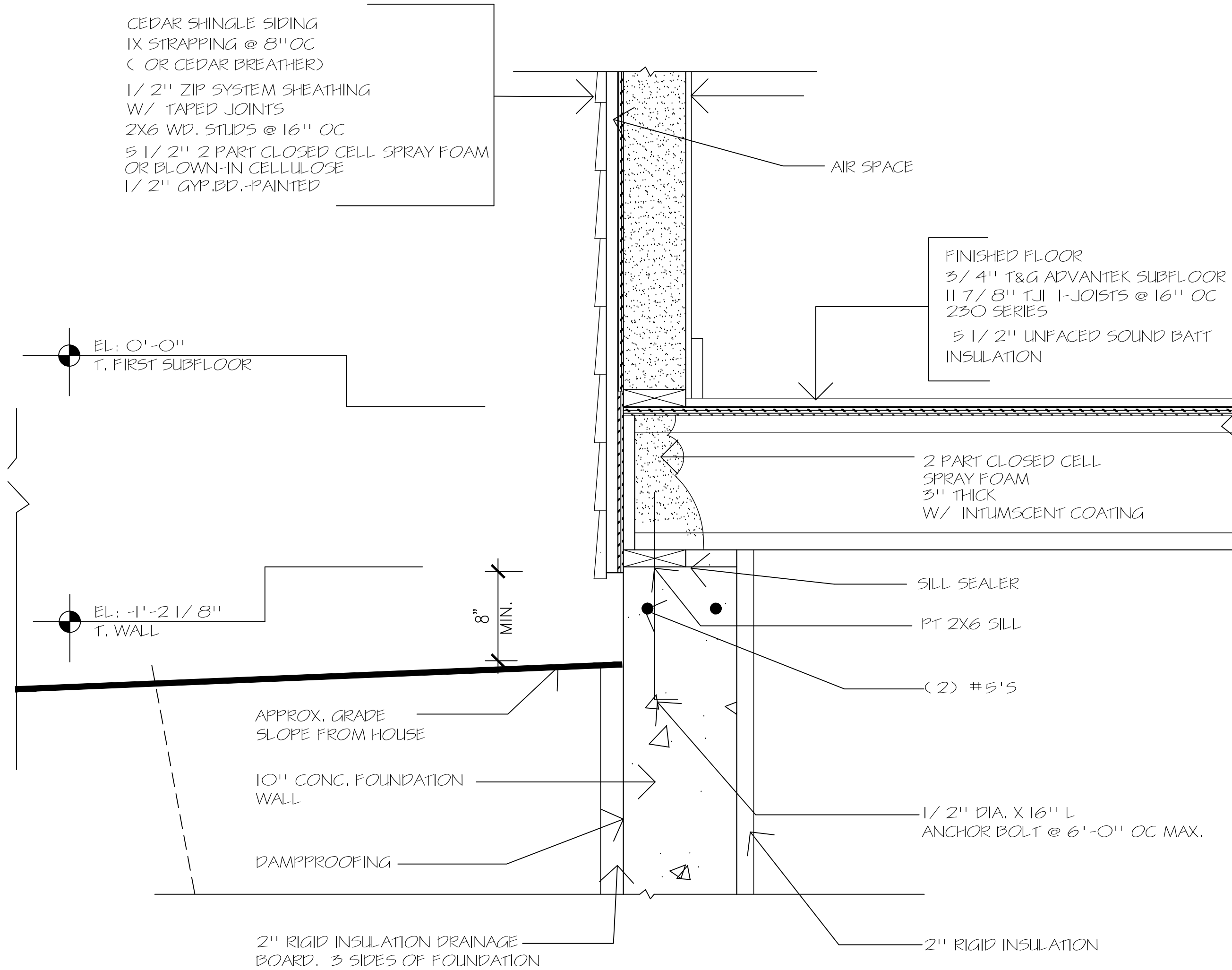
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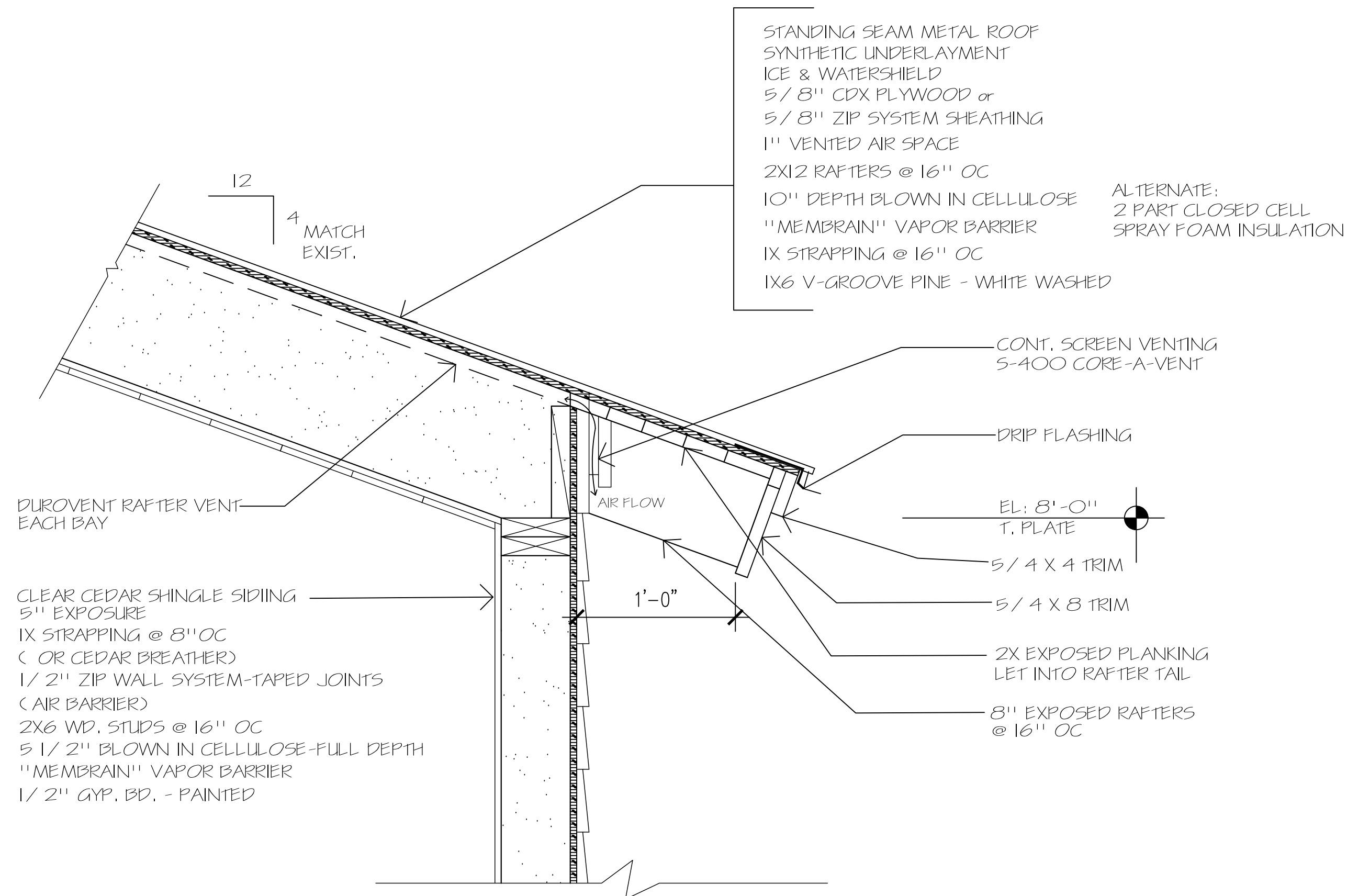
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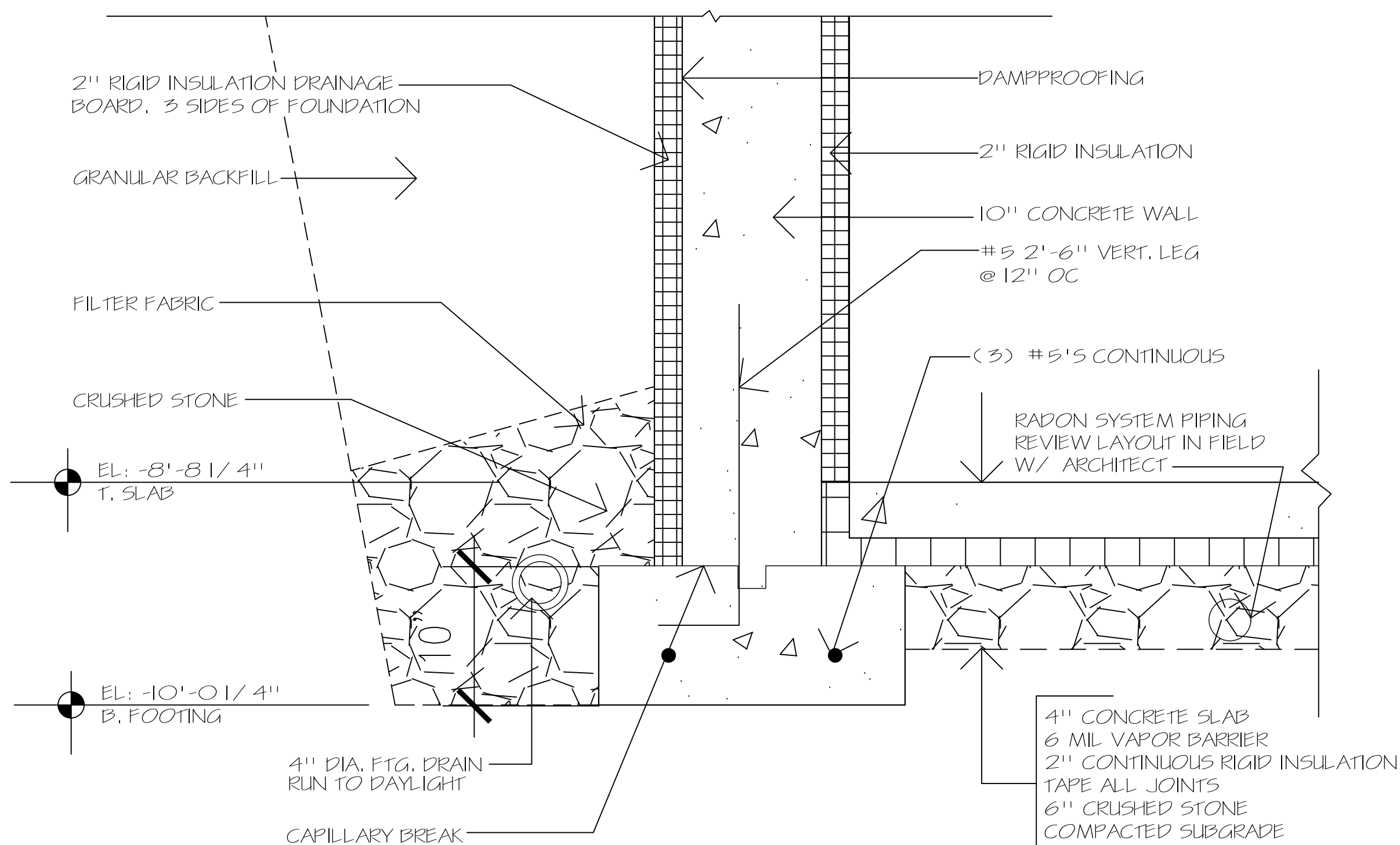
FILE NAME



1 FOUNDATION DETAIL
1 1/ 2" = 1'-0"



3 TYPICAL ROOF DETAIL
1 1/ 2" = 1'-0"



2 FOUNDATION DETAIL
1 1/ 2" = 1'-0"

FISH STREET DESIGN ARCHITECTURE

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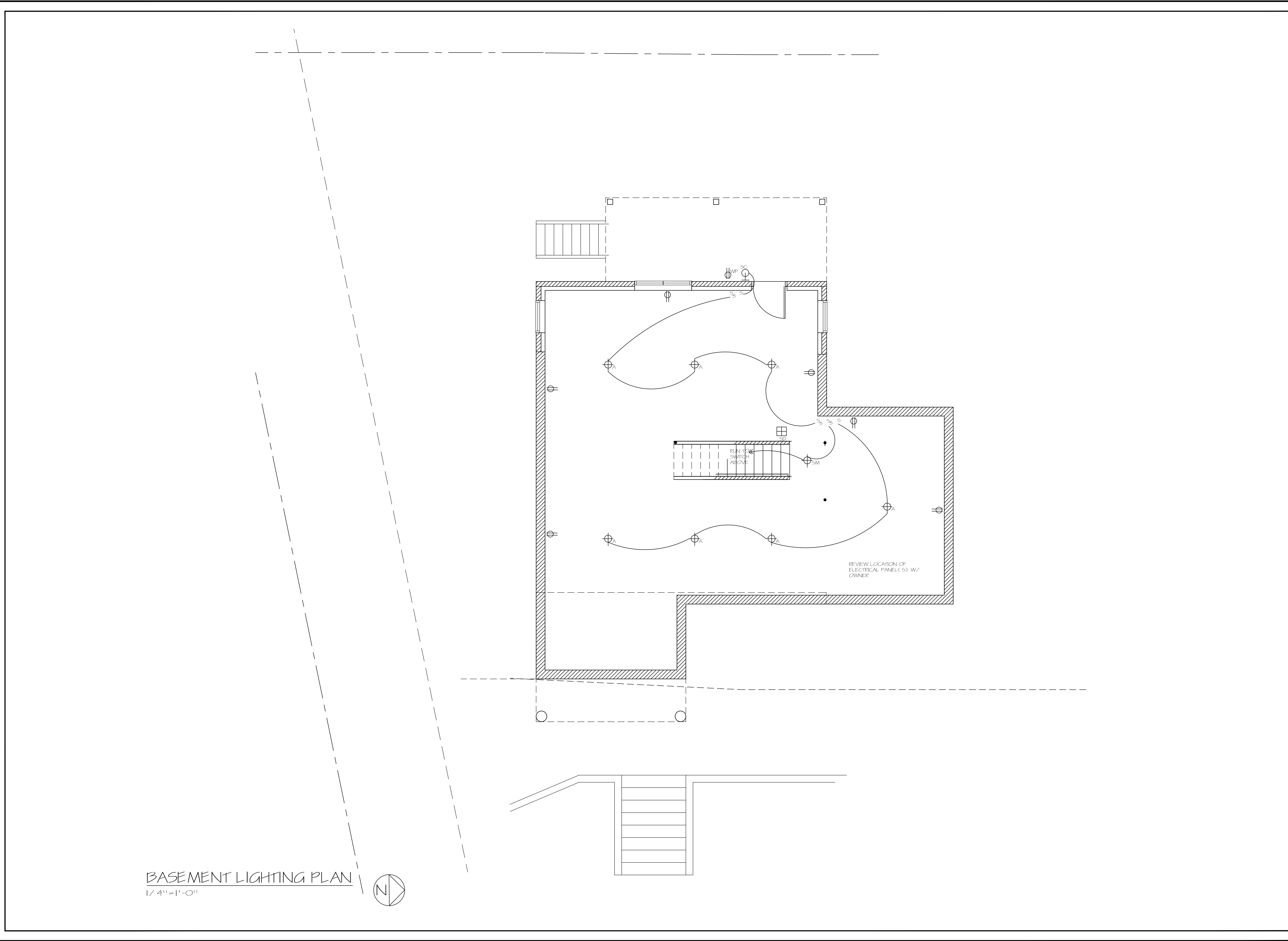
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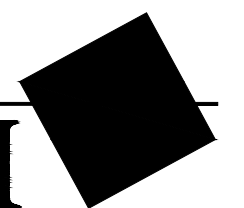
A.9

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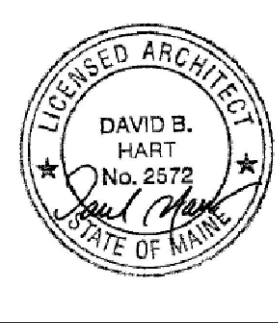
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No. 4572
STATE OF MAINE

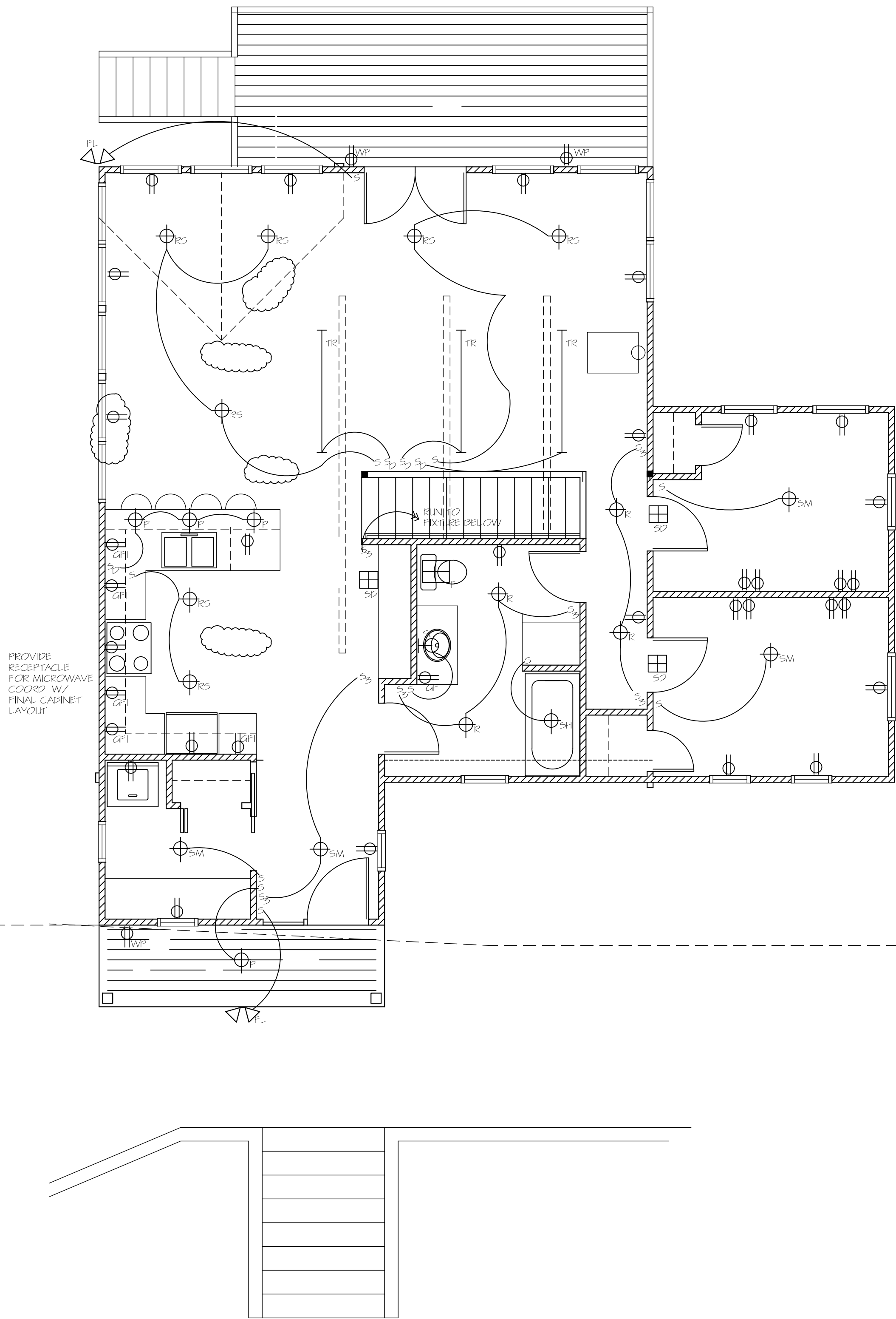
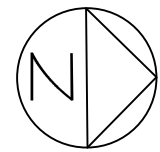
SHEET TITLE

BASEMENT LIGHTING PLAN

A.10

DIRECTORY: FILE NAME:

FIRST FLOOR LIGHTING PLAN
1/4"=1'-0"



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SHEET TITLE

FIRST FLOOR LIGHTING PLAN

A.11

DIRECTORY:

FILE NAME:



LIGHTING SCHEDULE -					
SYM.	TYPE	MANUF.	CAT. NO.	LAMP	REMARKS
	RECESSED DOWNLT.	LIGHTOLIER	100S / 10041CX		5" DIA.-CONFIRM TRIM FINISH
	WALL SCONCE	TO BE SELECTED BY OWNER	-	-	PROVIDE FOR AN ALLOWANCE OF \$150 / FIXTURE
	SURFACE MOUNTED	TO BE SELECTED BY OWNER		-	PROVIDE FOR AN ALLOWANCE OF \$150 / FIXTURE
	SHOWER LIGHT	LIGHTOLIER	1178SH / 11041CX		
	PENDANT	TO BE SELECTED BY OWNER		-	PROVIDE FOR AN ALLOWANCE OF \$150 / FIXTURE
	EXTERIOR FLOOD	TO BE SELECTED BY OWNER			PROVIDE FOR AN ALLOWANCE OF \$100 / FIXTURE
	SLOPED CEILING RECESSED DOWNLT.	LIGHTOLIER	1133 / 11041CX		CONFIRM TRIM FINISH
	TRACK FIXTURE	TO BE SELECTED BY OWNER			PROVIDE FOR AN ALLOWANCE OF \$100 / FIXTURE HEAD
	PENDANT	LITHONIA	OVT 1501	120 m6	

KEY NOTE: NOT ALL SYMBOLS MAY APPLY OR BE USED

S SINGLE POLE SWITCH	WP WEATHER PROOF RECEPTACLE	QUAD RECEPTACLE
S ₃ THREE WAY SWITCH		
S _D SINGLE POLE DIMMER	F EXHAUST FAN	
S _{D3} SINGLE POLE DIMMER	SD SMOKE DETECTOR/ CO MONITOR	
S ₄ FOUR WAY SWITCH		
DUPLEX RECEPTACLE	GFI GROUND FAULT DUPLEX RECEPTACLE	

- LIGHTING NOTES:
- COORDINATE SECURITY SYSTEM, TELEPHONE, CABLE, BUILT-IN SPEAKERS WITH OWNER/ OWNERS CONSULTANT.
 - PROVIDE UNDER CABINET LIGHTS, COORDINATE WITH FINAL KITCHEN LAYOUT.
 - ALL LAMPING TO BE INCLUDED. LAMPING TO ALL BE COMPACT FLUORESCENT OR LED. ADJUST FIXTURE TYPE/ MODEL NUMBER TO ACCOMMODATE LED LAMPING AS REQUIRED.
 - EXTERIOR FLOODS ARE MOTION ACTIVATED AND SWITCH CONTROLLED.

FINISH SCHEDULE -									
ROOM	SUB. FLR.	FIN. FLR.	WALLS				BASE	CLG.	REMARKS
			N	S	E	W			
ENTRY	2	3,5	6	6	6	6	8	11	
MUDROOM	2	3,5	6	6	6	6	8	11	
KITCHEN	2	3,5	6	6	6	6	8	11	
DINING	2	3,5	6	6	6	6	8	11	
LIVING	2	3,5	6	6	6	6	8	11	
STAIR	2	10	6	6	6	6	8	11	
BATH	2	3,5	6A	6A	6A	6A	8	6	9
BEDROOM #1	2	3,5	6	6	6	6	8	6	
BEDROOM #2	2	3,5	6	6	6	6	8	6	
BASEMENT	1	1	7	7	7	7	7	7	

- KEY
1. CONCRETE

2. 3 / 4" T & G ADVANTEK

3. 1 / 2" P.T.S. UNDERLAYMENT

4. HARDWOOD W/ ROSIN PAPER

5. CORETEC LVT

6. 1 / 2" GYP, BD,-PAINTED

6A. 1 / 2" MOISTURE RESISTANT GYP, BD,-PAINTED

7. EXPOSED STRUCTURE

8. 4" WOOD BASE

9. 1 / 2" CEMENT BOARD @ SHOWER

10. OAK TREADS/ RISERS

11. 1X6 V-GROOVE PINE - WHITEWASHED

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ISSUED FOR

PROGRESS

SCHEMATIC DESIGN

DESIGN DEVELOPMENT

☒ CONSTRUCTION DOCUMENTS

BID

NOT FOR CONSTRUCTION

REVISIONS

PROJECT TITLE / ADDRESS

CLIENT RESIDENCE

PROJ. NO.:

SCALE: 1/4"=1'-0"

DESN. BY: DBH

DRAWN BY:

CHKD BY: -

ISSUE DATE: 10.2.20

SHEET TITLE

LICENSED ARCHITECT

DAVID B. HART

No. 2572

STATE OF MAINE

FINISH/LIGHTING SCHEDULE

A.12

DIRECTORY: FILE NAME: