#### OUTLINE SPECIFICATION

#### Client Residence

#### PROPOSED NEW COTTAGE

#### DIVISION 1: GENERAL REQUIREMENTS

1. Zoning: Town of XX, ME

Intent of specifications is not to provide an exhaustive document, but rather to provide general applicable information to support a project that is built to the expected quality and standard of care of the industry.

- A. Town of XX Planning Board approval on 6.15.20 & 8.17.20 Project is a knock-down, relocation, and rebuild.
- 2. Basic Building Code: IRC 2009 IPC 2009 NEC Current Edition
- 3. All Bidders are obligated to inspect the site and acquaint themselves with conditions, as they actually exist, the intent and nature of the work and the matters affecting its performance. No allowance will be made on behalf of any Contractor for negligence on his part.
- 4. All work to be in accordance with all federal, state, and local codes and agencies having jurisdiction.
- 5. The Contractor shall secure and pay for all permits as required. The Contractor will be responsible for obtaining all approvals and for coordinating all inspections.
- 6. The Contractor is responsible for notifying the Architect immediately in writing of any discrepancies, non-conformities or omissions in plans and to bear all costs arising from rectifying work knowingly performed contrary to code requirements or best accepted construction practices.
- 7. The Contractor shall furnish all labor, equipment and materials necessary to complete all work in accordance with best-accepted construction practices and in strict accordance with all manufacturers' recommended specifications. Temporary heat, if required, by Contractor. Contractor to have access to Owner's power and water. Owner to pay for their use. Contractor to provide for his own toilet facilities and telephone.
- 8. The Contractor is solely responsible for all bracing, shoring, enclosures, barriers, scaffolding, etc. as required to provide a safe working environment as dictated by the progress of work. Property or equipment belonging to the Owner is to be protected throughout the term of work.
- 9. The Contractor shall guarantee that all work performed under this contract will be free from defects of materials and workmanship for a period of one (1) year from the date of final acceptance. This includes all HVAC work. regardless of its date of installation and start-up. The Contractor will bear all costs to rectify all defects and damage reported in writing within the quarantee period. The Contractor will furnish the Owner with all manufacturers' written quarantees for periods lasting for more than one year.
- 10. The Contractor shall lay out all work and establish all points, lines and levels and assume responsibility for same.
- 11. Any request for the use of an alternate material or item other than as specified in the documents must be placed in writing and reviewed before any substitution is made.
- 12. Rubbish removal and cleaning up shall be done each day as a result of any work, removing all debris from the site upon completion. Prior to final acceptance, the Contractor shall leave the work dust free, vacuumed/waxed/polished, taking care to do all special cleaning of windows, flooring, hardware, fixtures, etc. for the Owner's approval. All voids in work prior to enclosure must be cleaned of all dust, dirt and debris. Burning waste material on site is not permitted.
- 13. The Contractor shall maintain insurance for possible claims made under Workers' Compensation Acts: bodily injury and property damage in amounts not less than warranted by the Contract. Certificates of insurance, including Subcontractors' shall be submitted to the Architect/Owner. The Owner is to consult his insurance agent regarding types and amounts of insurance, which may be reauired.
- 14. The "General Conditions of the Contract for the Construction of Buildings," A.I.A. Document A201, latest edition, is to be included as part of this contract governing all items not specifically covered herein. Copies of these are available for inspection at the office of the Architect.
- 15. Questions regarding the drawings and specifications are to be directed to the Architect.
- 16. Demolition and removals: Demolition work is to include all work shown on the drawings or as specified herein. The work includes:
- A. Removal and disposal of all structures and materials resulting from this construction.
- B. Plantings, shrub removal and/or relocation.
- 16a. Contractor to provide all temporary construction, enclosures, weather protection, during construction.

- 17. Contractor is responsible for the coordination and completion of all temporary shut—offs, hook—ups or removals made to electrical, heating and plumbing work, septic, well, and reinstall and hook up, as required.
- 18. Requests for payment shall be made by submitting A.I.A. Document G-702 and G-703 monthly, in triplicate to Architect. Alternate arrangements may be made with approval of the Owner.
- 19. Separate Contracts: (confirm with Owner)
- A. Built-in Cabinetry: by Millwork Subcontractor.
- General Contractor to coordinate with Millwork Subcontractor. General Contractor is responsible for all rough—in, venting and final hook—up of all plumbing and appliances and electrical.
- B. Security System: GC to coordinate with Owner's consultant, if applicable..
- C. Cable T.V., Telephone: General Contractor to coordinate with Consultant. Location to be determined in field.
- D. Landscaping: Planting beds, plants, shrubs, by Owner.
- 20. No smoking within any interior portion of this project.

#### **DIVISION 2: SITE WORK**

- 1. Layout house before commencing work. Review with Owner. Site use is limited to the area as
- defined by the property line. Install erosion control as may be required. Excavate for footings and piers as shown. Rough grade to finished elevation as shown on Drawings. Spread existing topsoil and rake to remove stones. Excess material to be removed from site.
- 2. Plantings/trees which are not to be saved are to be removed by the Contractor. Care is to be taken for all surrounding trees, plantings, etc. Review with Owner which trees are to remain.
- 3. Use caution in excavating in order to protect electric and water service lines, sub-surface drainage, etc. Protect driveway from dumpsters, trucks, No vehicle traffic over existing septic system. Coordinate alternate route to rear of house with Owner.
- 4. Bottom of all footings/piers to bear on undisturbed soil good for a minimum bearing capacity of 2 tons per sq. ft., unless otherwise shown. Review and confirm field conditions with Architect.
- 5. Bottom of all footings/ piers to be a minimum of 4'-0" below finished grade. unless otherwise noted.
- 6. Bottom of footings shown are assumed elevations of undisturbed soil of suitable bearing capacity. Actual field conditions as found shall govern, and footings shall be placed at a level having the required bearing capacity as reviewed by the Architect/Structural Engineer. No footing is to be placed on
- 7. Prior to placing forms for footings, the soil at the proposed elevations must be reviewed by the Architect. Footings shall not be placed on frozen
- 8. Where walls are to have backfill on both sides, backfill both sides simultaneously up to the lower level of backfill, unless otherwise noted on the Drawings.
- 9. In the event that any part of the earth excavation is carried, through error, beyond the depth and dimensions indicated on the Drawings or called for in the Specifications, then the Contractor shall furnish and install gravel or stone with which to fill to the required level. However, if this condition arises under a footing, then the fill shall be compacted to 95% of optimum density.
- 10. If rock or sub-surface water is encountered, Owner and Contractor shall negotiate a price before work is done. Where rock is encountered and this rock must be removed in order to install walls and footings, the Contractor shall be paid an additional sum for such rock removal.
- Any rock that cannot be removed except by blasting or drilling shall be considered "rock." Before such rock is removed, it shall be exposed and the Architect shall have a chance to measure. If not, it will not be paid for.
- 11. Correction of Work: Correct any settlement which occurs within one year after completion at no expense to the Owner. Remove and replace any structure.
- 12. Seeding and Planting: Spread existing topsoil and/or provide topsoil as required at disturbed areas to finished grade. Topsoil to be raked, stones to be removed. Finished grade to slope away from building with positive pitch for drainage. Blend with existing grade. Sow with a good grade seed. Owner to maintain seeded areas.
- 13. Provide compacted (95% minimum) structural fill (sub-grade) below slabs as required. Provide crushed stone beneath slab for a capillary break.
- 14. Driveway: New crushed stone with 8" compacted gravel subbase. Grading and drainage must be reworked for positive water management. Review layout with Owner and Architect prior to final grading/excavation.
- 15. Retaining wall and landscape steps to be installed at uphill side of new cottage. Review with Owner.
- 16. New septic system to be installed. Design provided by separate consultant.

17. New drilled well to be installed. GC to coordinate with installer.

DIVISION 3: CONCRETE

- 1. The work required under this Section shall include all labor, materials and equipment necessary to complete all cast-in-place concrete work shown on the drawings or as specified.
- 2. Anchors, reinforcing, sleeves, inserts and other items furnished under other divisions and required to be cast in concrete shall be accurately positioned.
- 3. All work shall be performed to secure for the entire job a homogeneous concrete having required strength, durability and to be free from honeycomb. planes or weakness, or other structural defects.

#### 4. Formwork:

- A. All concrete shall be formed with plywood and coated with a non-petroleum based form-release agent.
- B. Formwork to be tight and free of waves and bulges and placed to dimensions shown on Plan.

### 5. Moisture Barrier:

A. Slab on grade: 2" rigid insulation and/or 6 mil polyvapor barrier, continuous.

#### 6. Concrete:

- A. Foundations shall be carried to the elevations indicated to obtain a minimum allowable bearing capacity of 2 tons per square foot (psf).
- B. The finish excavation for the foundation shall be neat and true to line.
- C. Foundation excavations shall be kept free of loose material and standing
- D. All footings shall be placed on undisturbed earth or compacted backfill. All topsoil and any deleterious materials shall be removed before placing any
- E. No footings, piers, or foundations shall be placed in water or on frozen ground. The bottom of the footing shall be a minimum of 4'-0" below finish grade.
- 7. All concrete work shall be in compliance with the IRC code. and concrete institute. (ACI)
- A. Cement shall conform to ASTM C150, Type II.
- B. Aggregates for normal weight concrete shall conform to ASTM C33.
- C. Ready-mix concrete shall be mixed and delivered in accordance with ASTM
- D. All concrete shall have a minimum 28 day compressive strength as follows: 3500 psi Footings: Slab - on - Grade: 3500 psi Walls and Pilasters and piers: 3500 psi
- E. The concrete shall be placed with a maximum 4" slump and shall be vibrated in a workman like manner.
- F. The concrete shall be air entrained concrete, containing 4% to 8% entrained air.
- G. Admixtures may be used with prior approval of the Engineer. Admixtures shall comply with ASTM C494.
- H. The concrete shall be mixed, placed and cured without the use of calcium chloride. The placement of all concrete shall comply with the latest American Concrete Institute (ACI) codes, including ACI 306.1—88 "Cold Weather Concreting and ACI 305R -91 "Hot Weather Concreting".
- J. The concrete shall have attained at least fifty percent (50 %) of its 28 day compressive strength prior to the removal of the forms.
- K. No conduit placed in a concrete slab shall have an outside diameter greater than 1/3 the thickness of the slab. No conduit shall be imbedded in a slab that is less that 3" thick. Except for conduit intersections, the minimum clear distance between conduits shall be 6".
- L. Elastomeric joint sealant to be one component, premium grade polyurethane based, moisture cured, non-sag, elastomeric sealant such as Sikaflex — 1A by Sika Corporation or equal.
- 8. Slab Finishes: Floor slabs shall have a monolithic finish at required level by screening, floating and trowelling to provide an even surface. Finished surfaces shall not vary by more than 1/4" in any 12 foot length — check with straight edge. Garage slab sloped.
- 9. Dampproof to within 6 inches of finished grade with Procor 75 rubber latex spray. Install as per manufacturer's recommendations and specifications, W.R. Grace Co.

### DIVISION 4: MASONRY - NOT APPLICABLE

#### DIVISION 5: METALS

- 1. All structural steel shall be ASTM A-36 or as noted. Provide columns, beams and bearing plates and other accessories necessary for a complete installation. Fabrication, detailing and erection shall be in conformance with specifications for the design, fabrication and erection of the structural steel for building by the American Institute of Steel Construction, latest edition.
- 2. Provide miscellaneous metals as required.
- 3. Provide joist hangers, hurricane clips as required
- 4. Anchor bolts: 1/2" x 16" Anchor bolts at sonotubes embed bolts minimum of 7 inches.
- 5. Provide rebar for piers and footings. Review with architect/ engineer prior to formwork, If formed in field.

#### DIVISION 6: CARPENTRY

#### 1. Design Loads:

First Floor: 40# LL, 12# DL 40# LL, 15# DL (NOT APPLICABLE) Second Floor: 40# LL, 15# DL Roof: Deck: 50# LL, 10# DL Basic Wind Speed: 90 mph

- 2. Rough Framing: Framing to follow all sound construction procedures and all code requirements. Provide all required nails, rough hardware, blocking, etc., for a rigid and permanent installation. Maximum moisture content 19%. All wood in contact with concrete and as called for on drawings, to be pressure treated southern yellow pine.
- 3. Studs, partitions, sills plates, sleepers: Douglas fir, standard grade.
- 4. Roof rafters, headers, and ceiling joists: Douglas fir, No. 2 and better, minimum Fb=875, E=1.8.
- 5. Exposed beams/rafters: Douglas fir, Select structural #1 or better Fb=1200, E=1.8.
- 6. Pre—engineered Lumber: I—Joists, Microlam beams, ML/PSL beams as manufactured by Nordic, Truss Joist MacMillan or equal. Alternate manufacturer will be considered upon receipt of appropriate product data for review. Refer to framing plans for specific sizes and spacing. Manufacturer to provide design data and series
- 7. Wall Sheathing: 1/2" Zip System with taped joints. (air barrier)
- 8. Roof Sheathing: 5/8" Zip System with taped joints (air barrier). See Drawings. Ice & Watershield and/or Synthetic underlayment.
- 9. Subfloor: 3/4" T & G Advantek. Finish: 1/2" PTS underlayment or as noted on schedule.

### 10. Bridging:

- A. Bridging to be at center line of joist space, maximum spacing 8'-0" o.c. Required conventional framing. Refer to Trus-Joist Macmillan
- 11. Interior window and door casing, sills and base: Clear Pine, Stain—Paint grade.
  Owner/contractor/architect to select trim profiles, otherwise match existing.
- A. No splicing. All corners mitered.
- B. Casing: 1x4 clear pine C. Apron: 1x4 clear pine
- D. Base: 1x4 clear pine
- 12. Exterior railing system: 36" high, vinyl rail system. To be selected by Owner.
- 13. Interior steps: Oak treads & risers stained & polyurethane.
- 14. Wood ceilings/walls: 1x6 V-groove clear pine. White wash finish.

### 15. Heavy timber frame:

A. Timber post and beams at covered entry porch. Review species with Owner/architect

### 16. Miscellaneous Products:

- A. Air-Infiltration Barrier: ASTM D 226-97A, Type I, No. 15 asphalt felt, unperforated. Zip System is the air barrier in all cases unless, sheathing is changed.
- B. Fasteners: Industry standard. Where rough carpentry is exposed to weather, in ground contact, or in area of high relative humidity, provide fasteners with a hot-dip zinc coating per ASTM A 153 or of Type 304 stainless steel.
- C. Metal Framing Anchors: Hot—dip galvanized steel of structural capacity by Simpson.
- D. Sill-Sealer: Glass-fiber insulation, one inch (25 mm) thick, compressible to 1/32 inch (0.8 mm).
- E. Framing Contractor to review Lighting Plans to avoid conflicts between framing and fixture, switch or outlet locations.
- F. Joist hangers, rafter hangers, post base, hurricane clips, etc. as noted/required, as manufactured by Simpson Strong—Tie Connectors.
- 1. Power-driven Fasteners: CABO NER-272.
- 2. Bolts: Steel bolts complying with ASTM A 307, grade A (ASTM F 568, Property Class 4.6); with ASTM A 563 (ASTM A 563M) hex nuts and, where indicated, flat washers.



A MAINE LICENSED ARCHITECT

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ISSUED FOR

**PROGRESS** 

SCHEMATIC DESIGN

DESIGN DEVELOPMENT

BID

NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS

REVISIONS

PROJECT TITLE / ADDRESS

SCALE: 1/4"=1'-0" DESN. BY: DBH

DRAWN BY: CHKD BY: -

ISSUE DATE: 10.2.20

OUTLINE SPECIFICATIONS

DAVID B.

HART

No. 2572

FILE NAME:

#### 17. Installation:

- A. Fit rough carpentry to other construction; scribe and cope for accurate fit. Correlate location of furring, blocking, and similar supports to allow attachment of other construction. Coordinate with Mechanical and Electrical Plans to avoid conflict between framing and fixture, outlet, switch, etc.
- B. Securely attach rough carpentry work to substrate by anchoring and fastening per industry standard.
- C. Provide jack studs below all headers and beams. Carry concentrated loads of all jack studs down to suitable bearing. Double frame openings. Double joists under all parallel partitions.
- D. Provide headers above all openings as designated on Framing Drawings. (3) 2x10 w/ 1/2" plywd. filler, insulated, U.O.N.

#### 18. Finish Carpentry:

#### Exterior trim

A. Use one continuous piece where possible. Minimum length of 12'-0", otherwise, divide length into minimum number of equal standard lengths. Example: 16'-0" of trim would be two 8'-0" pieces. Provide samples of all trim, moulding, etc. for review prior

#### 1. Siding:

- Rebutted, Resquared, 3/8" Select or Premium grade, clear, Eastern White Cedar. square edge. natural — kiln dried, 5" exposure, 5 1/2" average width by Maibec (Nantucket) or similar. Review with owner prior to purchase to determine stain type and color.
- Details note "cedar breather" or PT 1x strapping to create an air space.
- B. Corner Boards, Trim, Eave, Fascia, and/or Rake Assembly: Azek
- 1. 5/4 x 6, 1 x 4, 1 x 6, 1 x 8, 1 x 10, or as detailed. 2. Air space should be provided behind trim, similar to siding.
- C. Composite Decking: To be selected by Owner. Provide allowance in bid.
- D. Exterior Window and Door Casing, Window Sill: 5/4 x 4 Azek.

#### E. Shelving and Closet Poles:

mm) for level and plumb.

- 1. 3/4" Birch veneer plywood with 1 x 2 pine edge band.
- 2. Closet Pole: 1-1/4" Diameter steel tubing, polished chrome finish with polished chrome flanges, as manufactured by Outwater Hardware Corp., Totowa, NJ.

### 19. Installation:

- A. Condition woodwork to prevailing conditions before installation.
- B. Install woodwork to comply with AWI Section 1700 for grade specified. C. Install woodwork level, plumb, true, and straight. Shim as required with concealed shims. Install to a tolerance of 1/8 inch in 96 inches (3 mm in 2400
- D. Scribe and cut woodwork to fit adjoining work, seal cut surfaces, and repair damaged finish at cuts.
- E. Install trim with minimum number of joints possible, using full-length pieces to the greatest extent possible. Stagger joints in adjacent and related
- F. No splicing. Butt or mitered joinery to match existing.
- G. Backout or groove backs of flat trim members, kerf backs of other wide, flat members, except for members with ends exposed in finished work.

### DIVISION 7: THERMAL AND MOISTURE PROTECTION

- 1. Aluminum roll and step flashing, minimum exposure. Factory finish, color to be selected by Owner and Architect.
- a. Flexible membrane flashings: At doors, windows, air barrier transitions, exterior wall penetrations. Provide Dupont Flex-Wrap, or Perm-A-Barrier or equal. Install compatible material with adjacent materials including air barrier/ moisture barrier and insulation system and sheathing and other flashings.
- 2. A. Dow, 3M, Owens Corning or equal.
- Walls: 5"thick 2 part closed cell spray foam or 5 1/2" blown in cellulose Sloped ceilings: 10" thick blown—in cellulose. Alternate: 2 part closed cell sprayfoam. Flat ceilings: 20" blown in cellulose.
- Interior Walls: 3 1/2" unfaced sound batt insulation or Roxul. Floor framing — band joists: 3" thick minimum, 2 part closed cell spray foam. Concrete slab/foundation walls: 2" rigid insulation, taped joints. Foundation walls: 2" rigid insulation drainage board on 3 sides of foundation.
- B. Vapor Barrier:
- "Intello" smart vapor barrier by Pro-Clima or "Membrain" by Certainteed. Review requirements with final insulation strategy. If closed cell spray foam insulation used, then no vapor barrier required.
- C. Sill Sealer: 1 x 6 fiberglass.
- 3. Ductwork: No ductwork.
- Hot and cold water piping: 2" pipe insulation.

### 4. Roofing:

### A. Sloped Roofs:

Standing seam metal roof by Englert Roofing Company or approved equal. Provide all components for a complete installation. Provide profile (18" width) and gauge of metal roofing for review by Architect/Owner. Final color, width, gauge selection by Owner.

## 5. Sealant: Dow 790 to match.

Seal all penetrations between occupied/conditioned spaces and unconditioned spaces (such as attics, crawlspaces, etc.). Architect/Contractor to inspect all penetrations/ air sealing prior to installation of insulation. Penetrations include, but not limited too: wiring, conduits, ductwork, plumbing, venting,

#### 6. Vents and Louvers:

- A. Ridge Vents/misc. vents: Filter vent, as manufactured by Air Vent, Inc. Install per manufacturers recommendations. Durovent at rafter bays. Provide Cor-a-vent S-400 venting at exterior walls. See detail.
- B. Drip Flashing: Aluminum, factory finish, color to be selected.

#### **DIVISION 8: OPENINGS**

- 1. Exterior Doors: See schedule
- A. Insulated, 1 3/4", solid wood frame and wood panel with glazing. Owner to select.
- B. Thresholds: Factory standard or as noted.
- C. Hardware to be selected by Owner, installed by Contractor.
- D. Andersen Frenchwood hinged exterior door. 400 Series.

#### 2. Interior Doors:

to ordering.

A. 4 Panel, flat panel, solid wood by Jeld-Wen. See door schedule.

#### 3. Windows:

- A. Picture, doublehung, casement as manufactured by Andersen 400 Series. Units to be minimum PG50. Provide shop drawings for review prior
- 4. Finish Door Hardware: Provide an allowance of \$50/door. Labor to install in base bid. Owner to select. Finish: to be selected
- A. Locksets: To be keyed alike.
- B. Pocket Door Hardware: V2820 as manufactured by Stanley Hardware, New
- C. Door Stops: Base, door and hinge door stops as manufactured by Ives, New Haven, CT. Finish: to be determined.

#### **DIVISION 9: FINISHES**

- 1. Walls and/or Ceilings: Owner to determine all finishes. Provide all necessary accessories for complete installation. Prepare surface for specified finish.
- A. 1/2" Gypsum wallboard, 5/8" F.C. gyp. bd., 1/2" Moisture Resistent Gypsum wallboard and 1/2" cement board by Gold Bond or equal. Three coats taping compound. Level 4 finish unless otherwise noted.
- B. Wood finished walls, ceilings: 1x6 v-groove pine or Clear eastern white pine. Review with Owner for locations.

#### 2. Execution:

- A. All work to be done by skilled mechanics.
- B. Work to be flush, smooth, free from pits, scars, etc.
- C. The Contractor shall inspect all areas affected by his work to ascertain all work is complete which will be concealed by gypsum board.
- D. Start up of work means acceptance of conditions.
- 3. Flooring: See Finish Schedule for finish floor. Provide an allowance based on the following values. Values are for labor to install and materials. Indicate installation cost and total square footages in Bid: GC to provide samples for review.
- A. Luxury vinyl plank flooring (LVP): \$9./sf materials. Labor in bid. COREtec: style, color, size to be selected by Owner.

### 4. Paintina/ Stainina:

- A. Submit color samples for review. Painted or Stained.
- B. Obtain block fillers, primers and undercoat materials for wall coating system from the same manufacturer as the finish coats.
- C. Paint and/or stain all exposed surfaces unless otherwise indicated. Touch up, refinish like new all areas affected by construction.
- D. Do not paint prefinished items, finished metal surfaces, operating parts, labels and materials obviously intended to be left exposed such as stone and tile. Do not paint concealed surfaces.
- E. Deliver to Owner a one gallon (3.8 L) container, properly labeled and sealed, of each color and type of finish coat paint/stain used on Project.
- F. All products as manufactured by Benjamin Moore, unless otherwise noted. Colors to be selected by Owner and Architect.
- G. Comply with paint manufacturers written instructions for surface preparation, environmental and substrate conditions, product mixing and application. H. All painting and staining to be brush applied for all interior and exterior
- doors, windows, trim, columns, siding and flooring. Interior ceilings and walls to receive roller application. No spraying. Finish all sides of trim and siding: interior and exterior, prior to installation.

#### 5. Exterior Paint / Stain Schedule:

- A. Wood posts/ beams: Review if finish required with exposed wood.
- B. Trim, Casing: Azek products.
- C. Cedar Shingles: 1 coat primer, 2 coats exterior latex.
  1. 2 coats stain. Pre—dip, coat all edges.
- D. Decking: Composite no finish required.
- 6. Interior Paint Schedule:
- A. Wood ceilings:
- 1. 1 coat stain white washed finish.
- B. Gypsum Board Ceilings:
- 1. 1 coat primer, 2 coats flat latex.
- 2. 1 coat shellac in damp locations, 2 coats flat latex.
- C. Gypsum Board Walls:
- 1. 1 coat primer, 2 coats flat latex.
- D. Trim, Base, Paneling, Mouldings, Interior columns, railings.:
- 1. Paint: 1 coat primer, 2 coats semi-gloss latex.
- 2. Stain: wood filler prep, 2 coats satin finish.

### E. Shelving:

- 1. 1 coat primer, 2 coats semi-gloss latex.
- F. Wood finished walls: Review with Owner locations. 1. 1 coat stain white washed finish.

### 7. Location of Varying Finishes — Exterior:

- A. Exterior Semi-gloss Acrylic Latex: Moorglo Latex House and Trim Paint.
- B. Exterior Primer: Moore's Latex Exterior Primer.
- C. Exterior Solid Body Stain: Moorwood Solid Latex
- D. Exterior Semi-Transparent Stain: Moorwood Semi-Transparent Stain.
- 8. Location of Varying Finishes Interior
- A. Wood Floor Stain: Minwax, color to be selected by Owner.
- B. Semi-transparent Stain: Moorwood Semi-transparent Stain and Wood Preservative.
- C. Filler: Benwood Paste Wood Filler.
- D. Flat Latex: Regal Wall Satin.
- E. Shellac: B—I—N Primer Sealer Stain Killer as manufactured by William Zinsser 4. Fixtures: To be supplied and installed by Contractor unless otherwise and Co., Inc., Somerset, NJ.
- F. Low luster Vinyl Acrylic Latex: Wall Grip Latex Sealer II.
- G. Semi—gloss Latex: Regal Aquaglo. H. Polyurethane: Benwood Polyurethane Finish, Satin Finish.

# **DIVISION 10: SPECIALTIES**

1. Kitchen cabinets and countertops: Provide an allowance of \$15,000 for materials only. Labor to install in bid. Owner to work with kitchen consultant to determine final style, drawers, shelving, hardware, counter top material, finishes, etc. GC to coordinate plumbing and electrical requirements. GC to coordinate installation. Consultant to provide final shop drawings for review prior to fabrication & installation.

2. Pantry built—in, mudroom built—in, bath vanity, bath countertop and linen cabinet part of millwork scope of work. GC to coordinate with consultant.

# **DIVISION 11: EQUIPMENT**

1. New appliances to be selected by Owner. Contractor to install and connect. List to include: cook top & hood, dishwasher, refrigerator, microwave, washer and dryer.

### DIVISION 12: FURNISHINGS

1. Window Treatments by Owner.

### DIVISION 22 & 23: PLUMBING & HVAC

- 1. Install all plumbing work in accordance with all local and state codes.
- A. Wastes and Vents:
- 1. Waste: PVC
- 2. Vents: Schedule 40, black, cut to roof slope.
- B. Hot and cold water piping: Pex tubing.
- C. Contractor is responsible for all rough—in, venting and final hook—up of all Kitchen appliances and fixtures. Contractor to coordinate.
- 2. Plumbing Fixtures: Provide allowances for the following, labor to install in
- A. Bath: 1. Water Closet: \$350. \$250. 2. Sink: \$200. 3. Sink Faucet: \$2,500 4. Tub/Shower prefabricated unit:
- 3. Provide new radon system piping. Review vertical pipe and future exhaust fan location with architect and owner.

#### 4. HVAC:

A. Proposed heating system and air conditioning system to be mini-split units.

Mechanical contractor is responsible for sizing and design of system, components, layout, controls, and proper operation of systems.

Outline proposed system(s) in bid. Review with Owner to discuss final approach to heating, cooling and ventilation prior to construction.

HVAC Sub-contractor to provide design, product data and drawings to Architect and Owner four weeks prior to commencement of work for review. Systems to be safe, quiet and economical in operation and complete in all respects.

ERV Unit: Lifebreath 200 ERVD. Connect bathroom exhaust and general house exhaust to the ERV unit. The unit shall be connected to operate on any bathroom light switch. Activation on a 24 hour time clock operation schedule for day/night operation. Provide low limit freeze protection to shut off unit in extreme weather. Coordinate location

- Due to improvements with insulation and house "air tightness", it is required to provide automatic (on a timer) system of exhaust and whole house ventilation. Contractor may elect to combine bathroom exhaust/ERV as one unit. Panasonic, Fantech,
- B. Heating system shall maintain a minimum uniform temperature of 70° F in all spaces when the outside temperature is  $-10^{\circ}$  F. Cooling temperature is 70 degrees when outside temperature is 90 degrees.
- Heating/cooling Zones: Assumed first floor and basement zones. Modify as required by final system design and/or as requested by Owner.
- 5. Coordinate all work with other trades. Provide all supplementary supports, hangers, etc. for all equipment. Provide manufacturers full warranty on all equipment.
- 6. All system equipment to be tested to assure proper balancing and

# **DIVISION 26: ELECTRICAL**

operation.

- 1. Install all work in accordance with all local, state and national codes and standards.
- 2. Contractor to review with Owner current electrical house loads, and provide sub-panels as may be required. Minimum 200 amps.
- 3. Location of switches, outlet boxes, fixtures and equipment is shown diagrammatically on drawing provided by Architect. Verify locations in field with Architect before roughing. Provide six (6) days notice prior to roughing. Outlets shown, etc., are specific locations. Otherwise, in all cases, locations shall be per National Electric Code. Review locations of all existing outlets, switches and fixtures with Architect and Owner prior to abandoning.
- noted. Fixture allowances are for materials. Labor to wire and install in Bid. LED Lamps supplied and installed by Contractor.
- 5. Outlets and Switches: Switches shall be rocker type switches and rated for 15 amps. Color to be selected. Decora Designer Line by Leviton or similar. Upgrade all existing switches to match new rocker type switches.
- 6. All wiring in finished spaces shall be concealed. Provide cable run with
- regular wiring. 7. Entire system to be grounded as per Code.

Upgrade all existing duplex receptacles to match new.

- 8. Electrical Contractor is responsible for wiring all equipment, including HVAC.
- 9. Coordinate locations of studs, rafters, ceiling joists, other systems, etc., in order to facilitate the desired locations of switches, receptacles, fixtures,
- Coordinate with Owner.

11. Contractor to provide alternate price for underground service to house.

10. General Contractor and Electrical Contractor to coordinate work with

Security System Consultant, telephone, and cable company.

12. New generator: Provide new propane fired generator. Review size and location with Owner.

**ARCHITECTURE** 

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SCHEMATIC DESIGN

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REVISIONS

PROJECT TITLE / ADDRESS

SCALE: 1/4"=1'-0" DESN. BY: DBH

> DRAWN BY: CHKD BY: -

ISSUE DATE: 10.2.20

OUTLINE

**SPECIFICATIONS** 

FILE NAME:

DAVID B.

HART

A TYPICAL CONSTRUCTION DOCUMENT SET WOULD INCLUDE EVERY DRAWING THAT IS IN THE SAMPLE DESIGN DEVELOPMENT DRAWING SET PLUS THE DRAWINGS YOU SEE HERE WHICH MAKE UP THE CONSTRUCTION DOCUMENT SAMPLE SET.



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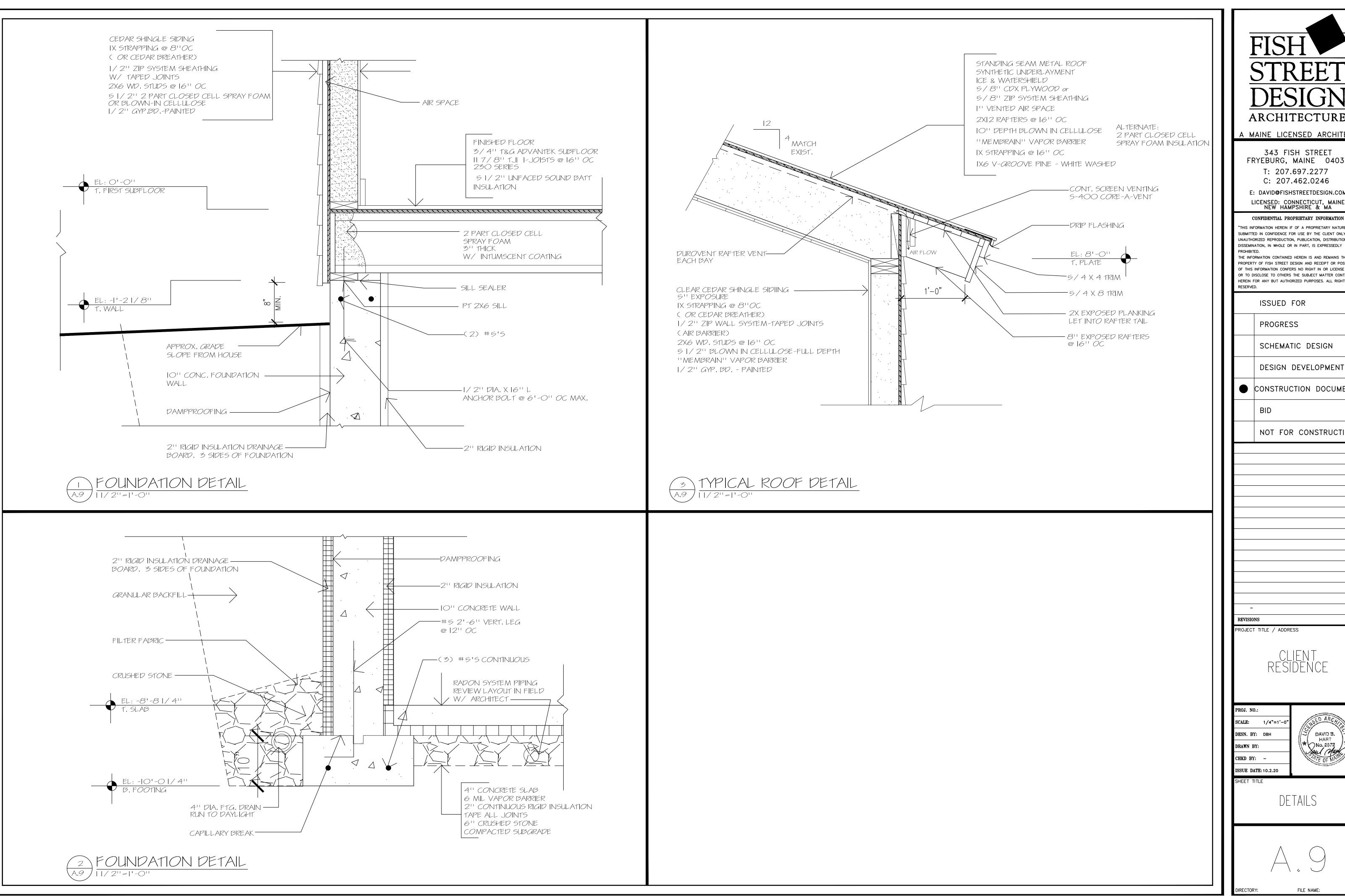
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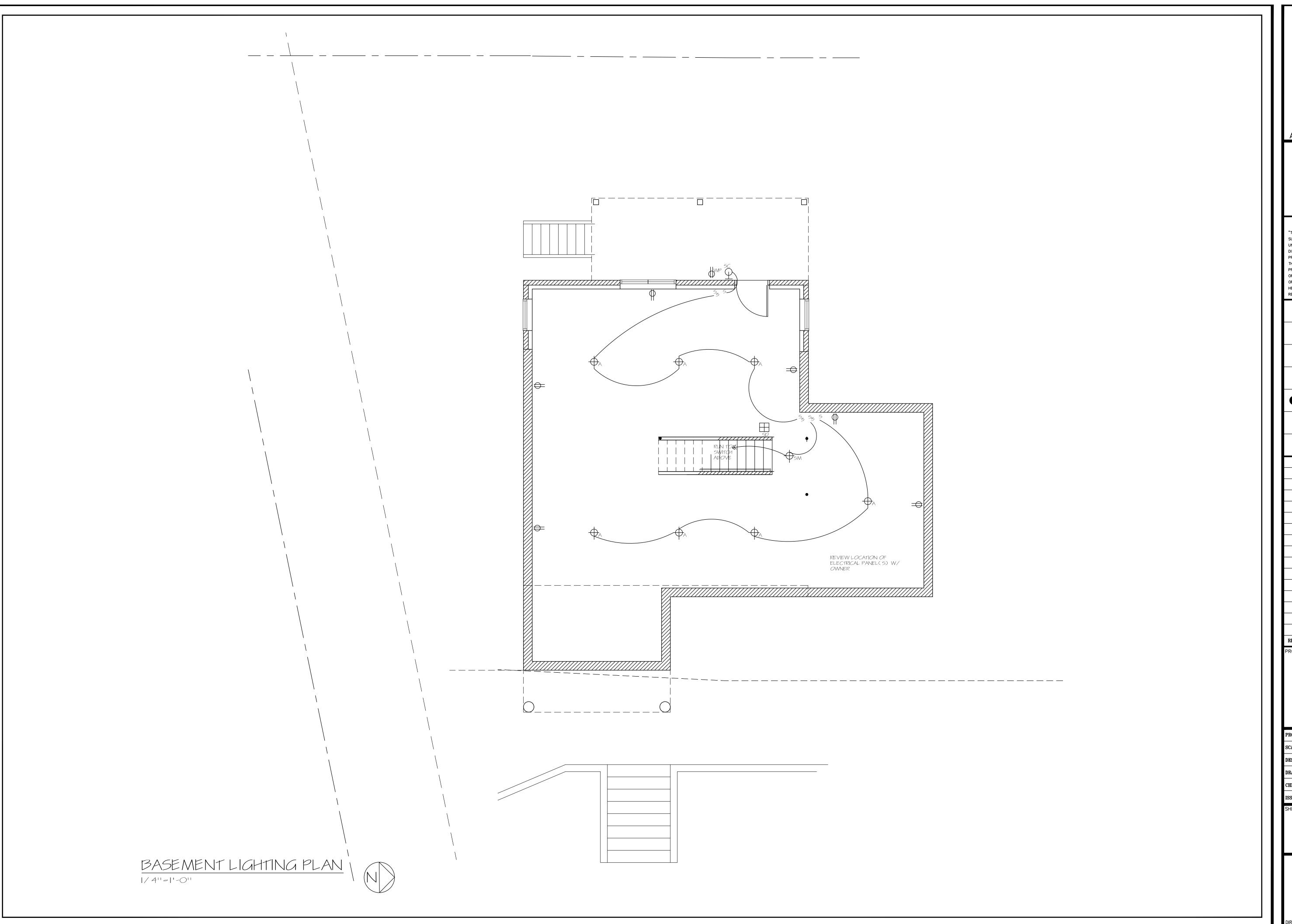
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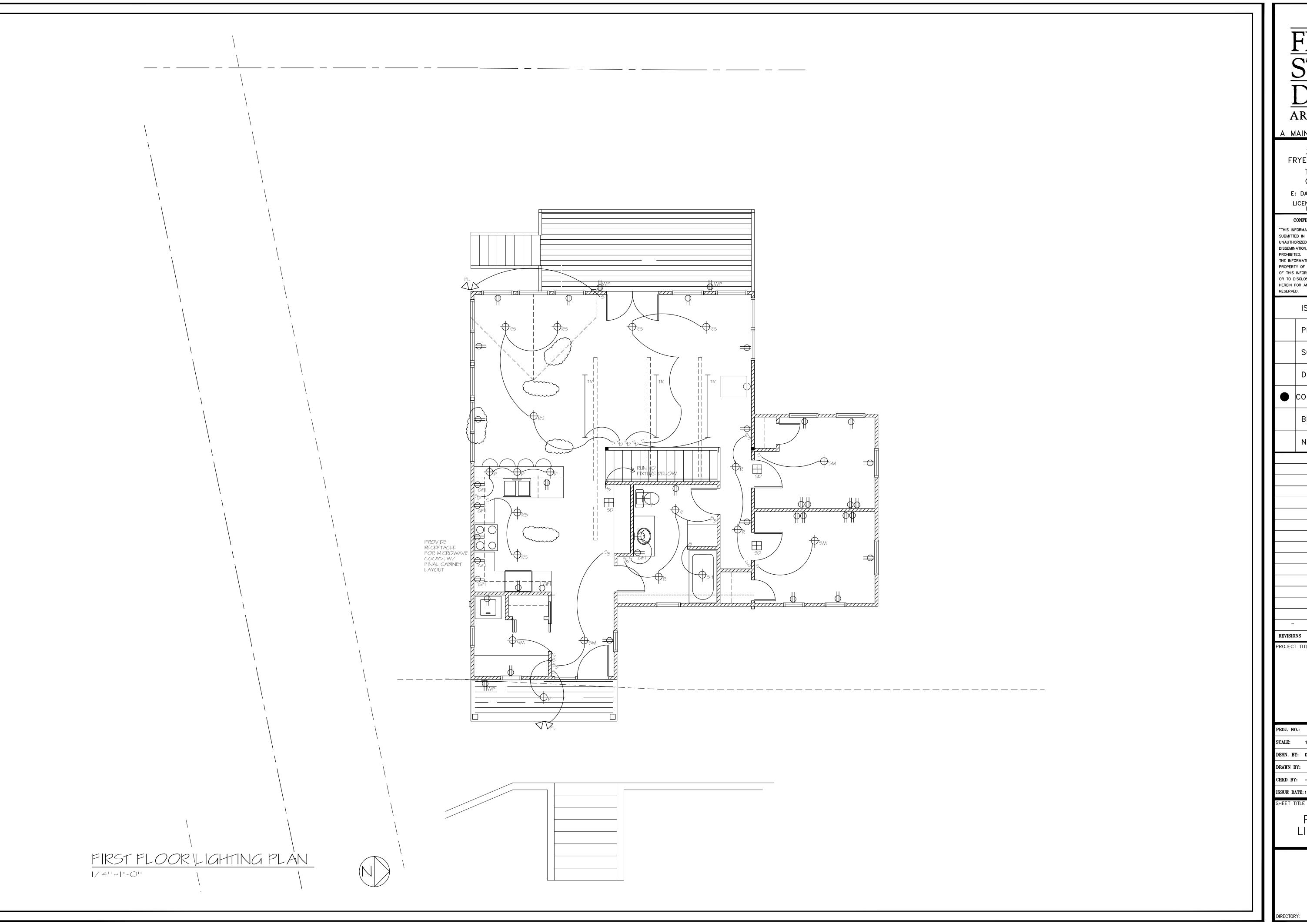
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BASEMENT LIGHTING PLAN

FILE NAME:





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FIRST FLOOR LIGHTING PLAN

| LIGH         | TING SCHEL                        | PULE -                     |                |        |   |
|--------------|-----------------------------------|----------------------------|----------------|--------|---|
| SYM.         | TYPE                              | MANUF.                     | CAT. NO.       | LAMP   | REMARKS   |
| +            | RECESSED DOWNLT                   | LIGHTOLIER                 | 1005/1004lCX   |        | 5" DIACONFIRM TRIM FINISH                       |
| Ю            | WALL SCONCE                       | TO BE SELECTED<br>BY OWNER | -              | -      | PROVIDE FOR AN ALLOWANCE<br>OF \$150/ FIXTURE   |
| <del>+</del> | SURFACE<br>MOUNTED                | TO BE SELECTED<br>BY OWNER |                | -      | PROVIDE FOR AN ALLOWANCE<br>OF \$150/ FIXTURE   |
| <del>+</del> | SHOWER LIGHT                      | LIGHTOLIER                 | 11785H/1104ICX |        |   |
| <del>-</del> | PENDANT                           | TO BE SELECTED<br>BY OWNER |                | _      | PROVIDE FOR AN ALLOWANCE<br>OF \$150/ FIXTURE   |
| 40           | EXTERIOR FLOOD                    | TO BE SELECTED<br>BY OWNER |                |        | PROVIDE FOR AN ALLOWANCE<br>OF \$100/ FIXTURE   |
| <del>+</del> | SLOPED CEILING<br>RECESSED DOWNLT | LIGHTOLIER                 | 1133/1104ICX   |        | CONFIRM TRIM FINISH                             |
|              | TRACK FIXTURE                     | TO BE SELECTED<br>BY OWNER |                |        | PROVIDE FOR AN ALLOWANCE OF \$100/ FIXTURE HEAD |
| <del>+</del> | PENDANT                           | LITHONIA                   | 0VT 1501       | 120 m6 |   |
|              |                                   |                            |                |        |   |

# KEY NOTE: NOT ALL SYMBOLS MAY APPLY OR BE USED

|           |                     |                                    | –<br>           |
|-----------|---------------------|------------------------------------|-----------------|
| 5         | SINGLE POLE SWITCH  | ₩ WEATHER PROOF RECEPTACLE         | QUAD RECEPTACLE |
| 53        | THREE WAY SWITCH    |                                    | ''              |
| Sp        | SINGLE POLE DIMMER  | EXHAUST FAN                        |                 |
| Spz       | SINGLE POLE DIMMER  | SMOKE DETECTOR/ CO MONITOR         |                 |
| 54        | FOUR WAY SWITCH     | SD                                 |                 |
| $\ominus$ | : DUPLEX RECEPTACLE | GFI GROUND FAULT DUPLEX RECEPTACLE |                 |

#### <u>LIGHTING NOTES:</u>

- I. COORDINATE SECURITY SYSTEM, TELEPHONE, CABLE, BUILT-IN SPEAKERS WITH OWNER/OWNERS CONSUTLANT.
- 2. PROVIDE UNDER CABINET LIGHTS, COORDINATE WITH FINAL KITCHEN LAYOUT.
- 3. ALL LAMPING TO BE INCLUDED. LAMPING TO ALL BE COMPACT FLUORESCENT OR LED. ADJUST FIXTURE TYPE/MODEL NUMBER TO ACCOMMODATE LED LAMPING AS REQUIRED.
- 4. EXTERIOR FLOODS ARE MOTION ACTIVATED AND SWITCH CONTROLLED.

| FINISH SCHEDULE - |           |           |                  |    |      |      |         |    |   |
|-------------------|-----------|-----------|------------------|----|------|------|---------|----|---|
| ROOM              | SUB, FLR, | FIN. FLR. | WALLS<br>N S E W |    | BASE | CLG. | REMARKS |    |   |
| ENTRY             | 2         | 3,5       | 6                | 6  | 6    | 6    | 8       | II |   |
| MUDROOM           | 2         | 3,5       | 6                | 6  | 6    | 6    | 8       | II |   |
| KITCHEN           | 2         | 3,5       | 6                | 6  | 6    | 6    | 8       | II |   |
| DINING            | 2         | 3,5       | 6                | 6  | 6    | 6    | 8       | II |   |
| LIVING            | 2         | 3,5       | 6                | 6  | 6    | 6    | 8       | II |   |
| STAIR             | 2         | 10        | 6                | 6  | 6    | 6    | 8       | II |   |
| BATH              | 2         | 3,5       | 6A               | 6A | 6A   | 6A   | 8       | 6  | 9 |
| BEDROOM #1        | 2         | 3,5       | 6                | 6  | 6    | 6    | 8       | 6  |   |
| BEDROOM #2        | 2         | 3,5       | 6                | 6  | 6    | 6    | 8       | 6  |   |
| BASEMENT          | ı         | 1         | 7                | 7  | 7    | 7    | 7       | 7  |   |

#### KEY

- I. CONCRETE
- 2. 3/4" T & G ADVANTEK
- 3. 1/2" P.T.S. UNDERLAYMENT
- 4. HARDWODD W/ ROSIN PAPER
- 5. CORETEC: LVT
- 6. 1/2" GYP.BD.-PAINTED
- 6A. I/2" MOISTURE RESISTANT GYP. BD.-PAINTED

- 7. EXPOSED STRUCTURE
- 8. 4" WOOD BASE
- 9. I/2" CEMENT BOARD @ SHOWER
- IO. OAK TREADS/RISERS
- II. IX6 V-GROOVE PINE WHITEWASHED



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DESN. BY:

DRAWN BY:

CHKD BY: ISSUE DATE: 10.2.20

SHEET TITLE

FINISH/LIGHTING SCHEDULE

 $A = \frac{1}{2}$ 

RY: FILF NAM